



BP# \_\_\_\_\_

723 S. Lewis, P.O. Box 1449, Stillwater OK 74076

www.stillwater.org

Fax # 405-742-8321

Email to [digitals@stillwater.org](mailto:digitals@stillwater.org)

### RESIDENTIAL (1&2 Family) Permit Application

New Construction    Alteration    Addition    Remodel    Accessory    Storm Shelter    Modular    Other

Project Address: \_\_\_\_\_

**FOR OFFICE USE ONLY:** FEMA floodplain?  Yes  No

Lot #: \_\_\_\_\_ Block # \_\_\_\_\_ Subdivision: \_\_\_\_\_ Zoning: \_\_\_\_\_

Property Owner: \_\_\_\_\_ Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Contractor: \_\_\_\_\_ Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_ Email Address: \_\_\_\_\_

#### OWNER/CONTRACTOR SIGNATURE OF UNDERSTANDING AND AGREEMENT

I hereby certify that the statements in this application and the attachments hereto are accurate, that the property owner has given permission for this work to proceed, that all construction work under this permit will conform to all applicable ordinances, rules or regulations of the City of Stillwater, and that all electrical, plumbing, mechanical, fence, sign and driveway construction shall be performed by contractors licensed by the State of Oklahoma (if applicable) and registered and bonded with the City of Stillwater.

(OWNER)(CONTRACTOR): **SIGNED** \_\_\_\_\_ DATE \_\_\_\_\_

(OWNER)(CONTRACTOR): **PRINT** \_\_\_\_\_ DATE \_\_\_\_\_

The granting of a permit or approval of plans shall not be construed as permission to violate any federal, state or local laws. Special notice is hereby given that additional requirements, notices and regulations will be printed on the permit and plans and shall be complied with whether specified herein or not.

**Special notice** is also hereby given that this permit becomes null and void if the authorized work or construction is not commenced, is suspended or abandoned after work is commenced, or if no inspections are obtained within a 6 month period. This permit requires final inspections and a Certificate of Occupancy or Certificate of Completion.

Based upon the scope of work, the following items may be required:

Contractor's General Liability and Worker's Compensation and/or Affidavit of Exemption Pursuant to Okla. State Statute, Title 11, Section 43-109.2	Site/Lot Plan showing: footprint of structure(s), water/electric meter locations, and erosion control locations for driveway installation	
Typical FHA-HUD Lot Grading Selection	Attic Spray Foam Worksheet (if applicable)	
Temporary Utility Agreement	Foundation Plan	
Acknowledgement of Stormwater Requirements	Floor Plan	

#### DESCRIPTION:

**(All contractors MUST be licensed and registered with the City of Stillwater and the State of Oklahoma)**

Plumbing Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_ Phone: \_\_\_\_\_

Mechanical Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_ Phone: \_\_\_\_\_

Electrical Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_ Phone: \_\_\_\_\_

Driveway/Sidewalk Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_ Phone: \_\_\_\_\_

CONTINUED ON PAGE TWO

## RESIDENTIAL (1&2 Family) Permit Application

Number of Stories: \_\_\_\_\_ # of Bedrooms: \_\_\_\_\_ # of Bathrooms: \_\_\_\_\_ # of Water Closets \_\_\_\_\_

**Electric Service:**

- Who will be installing this service:  Stillwater Electric Utility  Building Contractor
- What is the distance from the point of attachment to the SEU system to the location of the meter on the consumer's property? \_\_\_\_\_
- Is there ten (10) feet between property line and veneer of the house?  Yes  No  
*(If less than (10) feet builder must install)*
- Ground slope must be 4:1 or flatter for SEU install.

Service Connection Size:	Stw. Electric Utility Install Cost:	Building Contractor Install Cost:
200 AMP	<input type="checkbox"/> \$ 752.00	<input type="checkbox"/> \$ 224.00
400 AMP	<input type="checkbox"/> \$1,472.00	<input type="checkbox"/> \$ 954.00
600 AMP	<input type="checkbox"/> \$2,777.00	<input type="checkbox"/> \$2,165.00
<b>NOTE: In addition to the Service Connection fee, if the distance is between 80 and 150 feet, be sure to select the appropriate category below for the Service Lateral Extension Cost. Any distance greater than 150 feet, please contact Stillwater Electric Utility.</b>		
Service Lateral Extension cost per foot	Stw. Electric Utility Install Cost:	Building Contractor Install Cost:
200 AMP	<input type="checkbox"/> \$ 7.00	<input type="checkbox"/> \$ 2.00
400 AMP	<input type="checkbox"/> \$ 8.00	<input type="checkbox"/> \$ 3.00
600 AMP	<input type="checkbox"/> \$24.00	<input type="checkbox"/> \$18.00

**(For service over 600 AMPS, contractor must contact Electric Utility to obtain connection fee.)**

Effective 06.01.2018 per Resolution CC-2018-10; SUA-2018-3

Water Meter:  3/4"  1" Work Order# \_\_\_\_\_

Sewer Service:  Public  Septic (if Septic, provide copy of Perk Test)  Other \_\_\_\_\_

Foundation Type:  Post Tension  Engineered Attic Insulation Type:  Blown  Spray Foam

Exterior Wall Finish: \_\_\_\_\_ Roof Covering: \_\_\_\_\_

**Square Footage**

Finished: 1<sup>st</sup> \_\_\_\_\_ 2<sup>nd</sup> \_\_\_\_\_ Unfinished: 1<sup>st</sup> \_\_\_\_\_ 2<sup>nd</sup> \_\_\_\_\_ Garage: \_\_\_\_\_

Total Sq. Ft.: \_\_\_\_\_ Lot Square Footage: \_\_\_\_\_

% Lot Coverage: \_\_\_\_\_ (Total Roof Area / Lot Area) (RSS max: NA) (RSL max: 35%) (RMI/RTM/RT max: 40%)

**Valuation: \$** \_\_\_\_\_ (Valuation includes structural, electrical, plumbing, mechanical, interior finish, overhead and profit R108.3.)

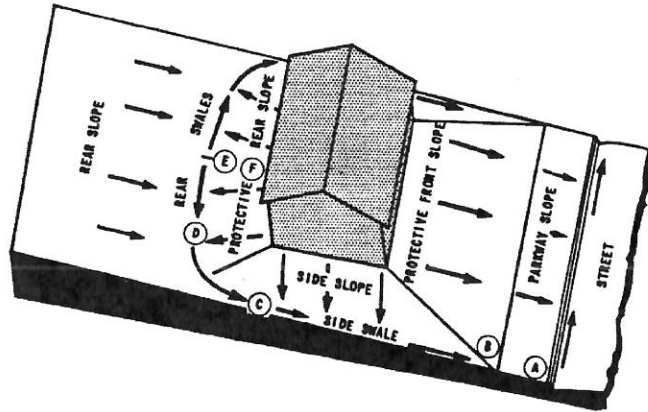
## TYPICAL FHA-HUD LOT GRADING

### TYPE "A" LOT GRADING

ALL DRAINAGE TO STREET

Rear yard swales behind the house carry surface water from rear yard to side yard swales (1% minimum) which carry it to street for disposal through the street gutters and the public storm drainage system.

- A Curb-top on lot line extension at highest lot corner.
- A-B Parkway slope
- B-C Side yard swale
- C-D Swale turn with 10' radius
- D-E Rear swale
- E-F Protective rear slope up from high point of swales

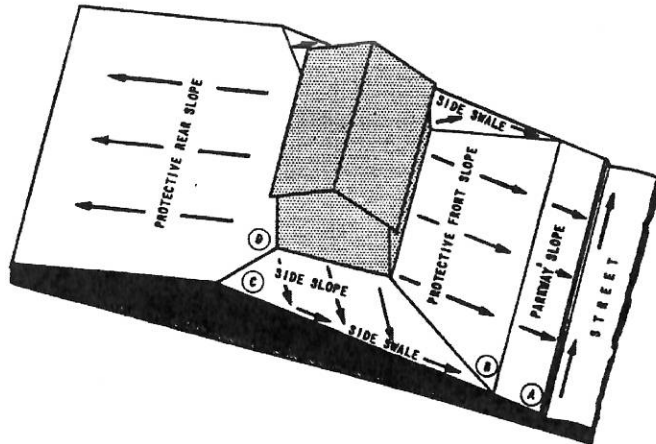


### TYPE "B" LOT GRADING

DRAINAGE BOTH TO STREET & TO REAR LOT LINE

Only side swales are needed to drain both to the street and to the rear lot line. They should extend back of the line of the rear building wall; then splash blocks from rear roof downspouts should be placed to direct roof water to the side swales for drainage directly to the abutting street. Thus the amount of water carried on the rear slope to easements or other properties is kept as small as possible. This reduces erosion and disposal problems.

- A Curb-top on lot line extension at highest lot corner
- A-B Parkway slope
- B-C Side swale
- C-D Protective side slope at extension of rear wall

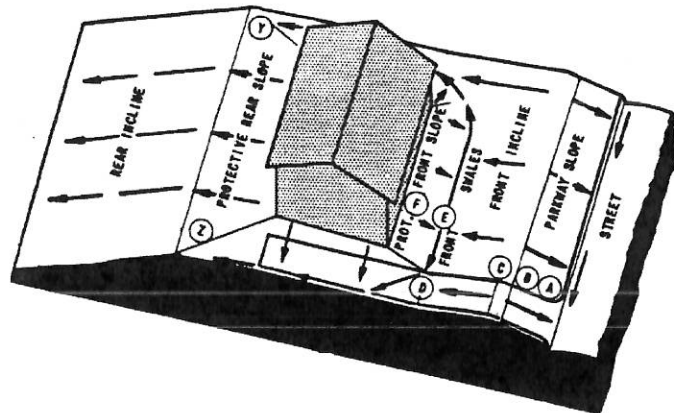


### TYPE "C" LOT GRADING

ALL DRAINAGE TO REAR LOT LINE

Front swales are essential to carry surface water from the front yard to side-yard swales which carry it to the rear for disposal in easements or across other properties. Proper cross-section of the street gutter, curb and parkway strip are essential to stop street water from flowing onto the lot.

- A Curb-top at high side of driveway near low lot corner
- A-B Parkway slope
- B Driveway grade change from upgrade drive in street to downgrade drive on lot
- C-D Driveway downgrade point out from front of building
- D-E Front swale
- E-F Protective front slope from highpoint of swales





## TEMPORARY UTILITES AGREEMENT

Pursuant to City of Stillwater Terms and Conditions of Use temporary power and water service for construction purposes may be activated upon issuance of a building permit and the temporary equipment and services having been inspected and approved and upon signing of this document.

The City frequently receives requests to activate gas, water, and electric services before the building has been completed. This may be granted when the City confirms that particular utilities work is complete and safe to operate under construction conditions. Temporary service equipment will be disconnected when the permanent equipment to the building is activated, with the possible exception of equipment serving remote job site trailers or offices.

I, the undersigned and building permit applicant, agree and understand that temporary utility services are being allowed only for the purpose of construction and I will call for final inspections and obtain a certificate of occupancy or a temporary certificate of occupancy, before the building or addition to the existing building is occupied or used for any other reason (including storage of items other than building materials and tools).

I, the undersigned and building permit applicant, understand that temporary utility services may be disconnected at anytime the property is found to be in violation of the Terms and Conditions of Use.

I, the undersigned and building permit applicant, agree the furnace is NOT to be operated any time fumes are present (such as glue, paint, dust, etc.), or any other substance harmful to the furnace. No electrical equipment may be left in an unsafe condition. It is not in the best interest of the building's owner to operate permanent HVAC system for temporary heating or cooling purposes during construction.

I, the undersigned, do agree to assume all responsibility for any cost associated with these temporary utilities. I, the undersigned, do understand that once a Certificate of Occupancy or Certificate of Completion is issued or upon completion of the construction project outside the city limits, then City of Stillwater Customer Service shall be contacted to change the status of the utility account.

I understand and agree that temporary water service is for construction purposes only and is NOT to be connected to any building/structure in any manner, whether directly or indirectly, until a permitted sewer connection is made to an approved sewage disposal system. I also understand that prior to issuance of a certificate of occupancy, any costs associated with the relocation/adjustment of the meter can or repairs required on the City's side of the meter due to damages during construction will be my responsibility.

I understand that a violation of any of the above conditions, or failure to comply with the requirements of and within the time constraints of the Terms and Conditions of Use, shall be considered a Class A Offense and may result in the immediate disconnection of the utility services and/or issuance of a municipal citation.

Project Address \_\_\_\_\_

Print Name \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

Billing Address \_\_\_\_\_

Phone Number: \_\_\_\_\_



Project: \_\_\_\_\_

Building Permit No.: \_\_\_\_\_

### **Acknowledgement of Stormwater Requirements**

#### **Drainage Facilities**

Proper stormwater management is essential to public welfare.

For construction scheduling purposes, municipal code §9-32 (a) states: *All drainage facilities shown as part of an accepted drainage plan for any portion of a development shall be installed as part of the first phase of construction or earth moving activity on that portion of the development.*

For all phases of construction, §9-7 (a-b) states:

*(a) Dumping or placing any material, whether temporary or permanent, within a drainage facility in a drainage easement or within the stormwater flowline of a drainage facility that is not in an easement is prohibited and a violation of this article. The owner of the property shall be responsible for any material that has been willfully dumped or placed in a drainage facility.*

*(b) A property owner's failure to repair and maintain a drainage facility that was specifically designed and installed to control stormwater runoff from that property or other properties designated in an approved drainage plan to a standard allowing it to perform its designed and intended purpose is prohibited and a violation of this article.*

Municipal Code §9-21 (a) (2) states: *All development, redevelopment, and earth changes shall be constructed so that it will not increase the frequency of flooding or depth of flood for any stream, up to and including the 24 hour – 100 year storm.*

#### **Water Quality Regulations**

The City of Stillwater is an Oklahoma Department of Environmental Quality Phase II community and is required by federal and state regulations to enforce a program that effectively reduces stormwater runoff pollution resulting from construction activities.

Municipal Code, §9-21 (b) (1-3) states:

*(1) All development, redevelopment, and earth changes shall be designed, constructed, and completed in a manner which minimizes the exposure of bare earth to precipitation.*

*(2) All development, redevelopment, and earth changes shall be constructed only if appropriate sedimentation facilities are installed and maintained throughout the construction period.*

*(3) All development, redevelopment, and earth changes shall be accompanied by Best management practices for controlling sediment and erosion so as to minimize the amount of sediment leaving the site.*

Municipal Code, §9-40 states: *Unless specifically exempted, an earth change permit [now identified as the Earth Change, Grading, and Flood Control Permit] granted to the provisions of this chapter shall be obtained from the city engineer prior to commencement of any excavating, grading, re-grading, landfilling, berming, or diking of any property within the jurisdictional area of the City of Stillwater. A separate permit shall be required for each separate, noncontiguous site or lot. No permit shall be transferable without the prior written consent of the city engineer.*

#### **Floodplain Regulations**

If construction is to take place within an identified Special Flood Hazard Area (SFHA), that proposed development must be constructed to comply with floodplain management regulations and to minimize potential flood risks. Chapter 23 – Article 14, *Flood Hazard Regulations*, requires:

1. For residential structures, the lowest floor (including basements) must be elevated above the base flood elevation (BFE) a minimum of one foot (1'-0").
2. For non-residential structures, the lowest floor or base of the structure must be elevated above the base flood elevation (BFE) a minimum of one foot (1'-0") - OR - shall be flood proofed to withstand the flood depths, pressures, velocities, and impact and uplift forces associated with the 100-year (1% chance) flood.
3. For all structures, the foundation and materials used must be constructed in such a manner as to withstand the pressures, velocities, and impact and uplift forces associated with the 100-year (1% chance) flood.
4. All new construction, substantial improvements, or other development shall be constructed with materials resistant to flood damage and by methods and practices that minimize flood damage.
5. All new construction, substantial improvements, or other development shall be accomplished without causing adverse impact to other properties. Compensatory storage shall be provided for any fill or obstruction located within the floodplain that reduces or modifies floodplain characteristics and parameters as determined by FEMA regulatory mapping.
6. You must submit an official FEMA Elevation Certificate from an Oklahoma-registered engineer, architect, or land surveyor which indicates that the base floor elevation requirements have been met. You must submit written certification from an Oklahoma registered engineer or architect that the flood proofing requirements have been met when flood proofing has been used as an alternative for non-residential structures. Failure to provide required certification is a violation of this permit and will result in withholding the Certificate of Occupancy or Certification of Completion.
7. All utility supply lines, outlets, switches, and mechanical or electrical equipment must be installed so as to minimize damage from potential flooding, either by elevating the equipment a minimum of one foot (1'-0") above the base flood elevation (BFE) or by flood proofing the systems. Water and sewer connections must have back-flow preventer devices installed.

**Violations and Enforcement**

Violations of stormwater requirements will result in the issuance of a Notice of Noncompliance (NON). Violations must be corrected within the noted correction period. If a violation is not corrected within the correction period, a citation will be issued every day, thereafter, until the violation is corrected. The violation is a class C offense (\$500/day) if no sediment is discharged; it is a Class D offense (\$1,000/day and/or 90 days in jail) if sediment is discharged.

Earth Change, Grading, and Flood Control Permit Holders will receive a maximum of (5) citations (1 per day per violation). The permit will be revoked or suspended on the 6<sup>th</sup> day. If revoked or suspended, a Stop Work Order will be issued. For violations which create a public nuisance, abatement actions may be taken by the City of Stillwater and related expenses will be billed to the property owner.

**Authorization and Acknowledgement**

I have read or had read to me the above stormwater provisions; I understand and will abide by these requirements.

\_\_\_\_\_  
Owner's Name (*please print*)

\_\_\_\_\_  
Signature of Owner

\_\_\_\_\_  
Date

# Attic Spray Foam Worksheet

Address: \_\_\_\_\_

Contractor: \_\_\_\_\_

## **Type of spray foam proposed: (check ALL that apply and provide product spec sheets)**

If product information is not known, enter "Will submit later"

	<u>Product Name</u>	<u>Manufacturer</u>
<input type="checkbox"/> Open Cell	_____	_____
<input type="checkbox"/> Closed cell	_____	_____
<input type="checkbox"/> Ignition barrier	_____	_____
<input type="checkbox"/> Approved without additional ignition barrier		

### **Attic storage information**

<input type="checkbox"/>	Attic storage is planned
<input type="checkbox"/>	No attic storage is planned
<input type="checkbox"/>	Attic storage is planned but will be separated from insulated attic

R316.5.3 Attics. The thermal barrier specified in Section R316.4 is not required where all of the following apply:

1. Attic access is required by Section R807.1.
2. The space is entered only for purposes of repairs or maintenance.
3. The foam plastic insulation is protected against ignition using one of the following ignition barrier materials:
  - 3.1. 1 1/2-inch-thick (38 mm) mineral fiber insulation;
  - 3.2. 1/4-inch-thick (6.4 mm) wood structural panels;
  - 3.3. 3/8-inch (9.5 mm) particleboard;
  - 3.4. 1/4-inch (6.4 mm) hardboard;
  - 3.5. 3/8-inch (9.5 mm) gypsum board; or
  - 3.6. Corrosion-resistant steel having a base metal thickness of 0.016 inch (0.406 mm).

The above ignition barrier is not required where the foam plastic insulation has been tested in accordance with Section R316.6.



Department of Development Services 723 S. Lewis Street Stillwater, Oklahoma 74074

Office: (405) 742-8218 Fax: (405) 742-8321 Web: stillwater.org

Form Revised: 07.01.2017

## April 2021

### The following inspections are required by the City of Stillwater for one-and-two family dwellings and their accessory structures.

- Temporary electric – Required when temporary electrical meter set-up is complete.
- Footing/foundation – Required after all reinforcement is installed and before concrete is placed. If spread footings with stem walls are used, both the footing and the stem walls are required to be inspected. Reinforcement for slab tie-downs to foundation walls or footings can be wet-set. Property lines must be identified at the time of inspection to verify setbacks.
- Concrete-encased grounding electrode – Must be installed at the footing inspection.
- Piers – Piers and/or post holes for deck posts, porch cover or patio cover posts and pole-frame construction structures are required to be inspected before placement of concrete or dirt backfill and after any required reinforcement are in place.
- Plumbing rough-in – Required after all under-slab water and waste-water piping is installed and under test and before covering with sand or concrete.
- Electric ground run – Required for under floor raceways after raceways and floor boxes are installed and before covering with sand or concrete.
- In-floor storm shelter – After the shelter has been set in place and before the concrete is poured around it. This inspection can be done at the same time as the slab inspection if the shelter will be poured monolithically with the floor slab.
- Slab – Required after all required reinforcement, including post-tension cables, is installed and before covering with concrete and 6ml moisture barrier
- Building sewer – Required after the sewer pipe is properly bedded and connected to the public sewer and before the sewer pipe is covered.
- Water Service - Required after the service line is installed and under test and before it is covered.
- Plumbing top-out – Required after all water, waste-water and gas piping are installed and under test and before cover, including insulation. Residential Lot and Elevation Plan (RLEP) must be submitted and approved before this inspection can be made.



- Electric rough-in – Required after all wiring and boxes are installed and before cover, including insulation. All connections must be made up in the boxes but the devices should not be installed.
- Electric service – Required when the permanent meter enclosure, service conductors, main disconnect and grounding electrode conductor are in place.
- Mechanical rough-in – Required after heating equipment is set and vented (if required) and all duct work is installed and insulated and before cover, including building insulation. If duct work is installed in the attic, duct work must be inspected before the ceilings are installed.
- Wall bracing, exterior – Required after the required wall bracing is in place and before the bracing has been covered by siding or brick. This inspection may be requested at any time the wall bracing is complete, including before the framing inspection. Covering the bracing with house wrap prior to inspection may necessitate that some of the wrap be removed.
- Framing – Required after the framing is complete and before any cover, including insulation. The framing inspection should be the last inspection requested before installation of insulation or drywall. Windows and doors should be installed. Anchorage of any required interior braced walls to the floor should be complete as well as any bracing intended to be covered by drywall.
- Wall bracing, interior gyp board – Required when interior braced walls are braced with gypsum board. Inspection must be made before fasteners are mudded.
- Fire-rated assemblies – Required for party-wall and floor/ceiling separations in duplex construction. Inspection must be made before fasteners and joints are mudded.
- Roofing – Not required
- Insulation – Not required
- Final grading – Required when the final grading and landscaping is complete. May be requested in conjunction with the final building inspection or requested separately.
- Final Building, Plumbing, Mechanical and Electrical – Required after the electrical, plumbing and mechanical systems are trimmed out and functional and all required finishes, both interior and exterior are complete. Interior paint and decorative trims are not required. Driveways, sidewalks and exterior stairs and handrails must be complete. A final inspection is required before any type of occupancy is allowed, including the storage of household goods. Partial final inspections may be requested for various parts of the house, and Temporary Certificates of Occupancy may be granted for specific levels of occupancy for varying amounts of time.