

ADA Accessibility Informational Guide



BUILDING BLOCKS FOR ACCESSIBLE CONSTRUCTION



WHEELCHAIR REQUIREMENTS

The clear floor space required to accommodate a wheelchair and its occupant is shown in FIGURE 1. For a wheelchair user to make a 180 degree turn a circular floor space is required, see FIGURE 2. An alternate to the circular floor space is a T-shaped space; see ICC/ANSI A117.1 for more information.

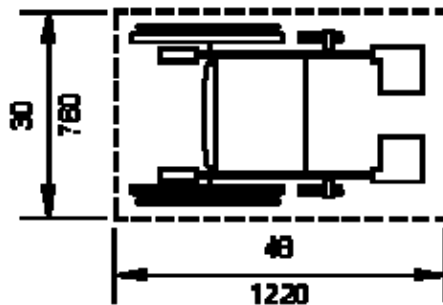


FIGURE 1: Wheelchair Clear Floor Space

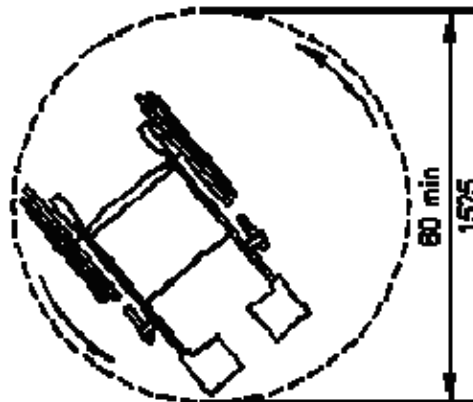


FIGURE 2: Wheelchair Turning Space

ACCESSIBLE ROUTE

An accessible route is a path which connects accessible spaces. It includes paths from accessible parking to the building entrance, restrooms, drinking fountains, corridors, hallways, ramps, elevators, etc. The clear width of an accessible route and the minimum width when passing by an obstruction; shown in FIGURE 3. Doors within an accessible route must meet the requirements shown in FIGURE 3. Doors within an accessible route must meet requirements shown in FIGURE 4 for pull side; see ICC/ANSI A117.1 for push side requirements.

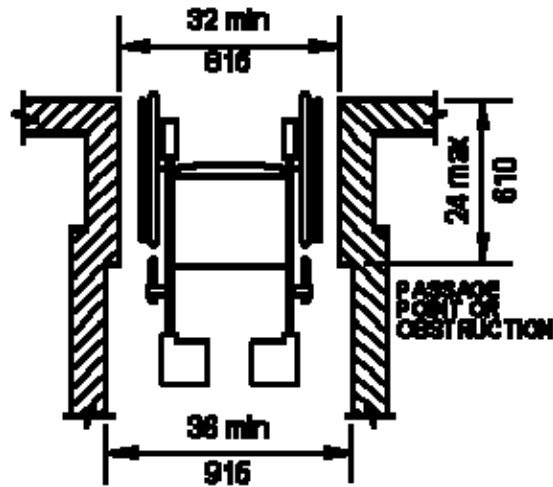


FIGURE 3: Minimum Clear Width for Single Wheelchair

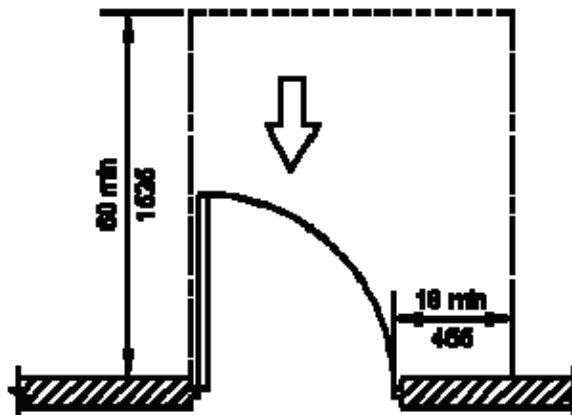


FIGURE 4: Swinging Door Pull Side Approach

TOILET FACILITIES

At least one of each fixture type provided in all public toilet rooms shall be accessible. See FIGURES 5- 9 for more information. All accessible toilet rooms shall be provided with unobstructed wheelchair turning space (FIGURE 2) and all accessible fixtures shall also have an unobstructed clear floor space. In multiple user toilet rooms, at least one toilet stall shall be wheelchair accessible. When six or more water closets are provided, at least one additional stall shall be ambulatory accessible. See ICC/ANSI A117.1 for more information.

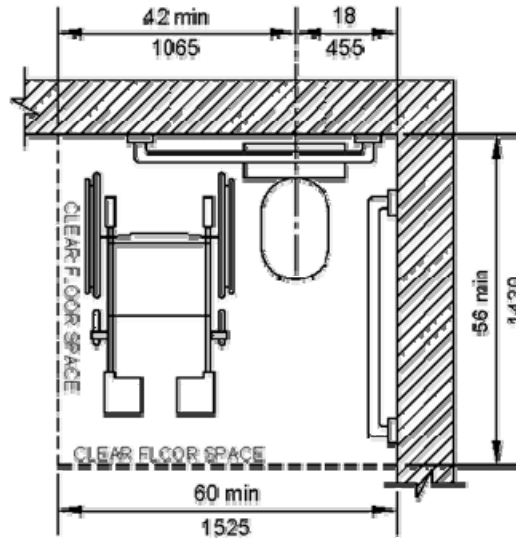


FIGURE 5: Clear Floor Space at Water Closets
 NOTE: Lavatories may not encroach into clear floor space.

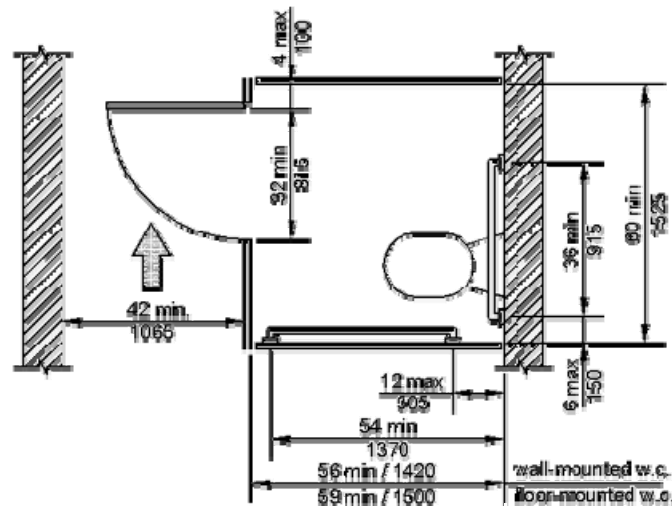


FIGURE 6: Wheelchair Accessible Stall

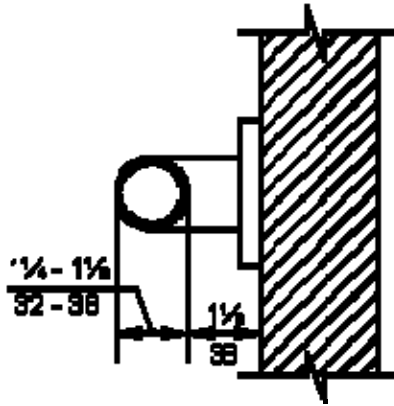


FIGURE 7: Typical Grab Bars

NOTE: Height shall be 33" - 36" (840 - 915) above finished floor; bar shall resist 250 lbs (1.1 kN) force in any direction.

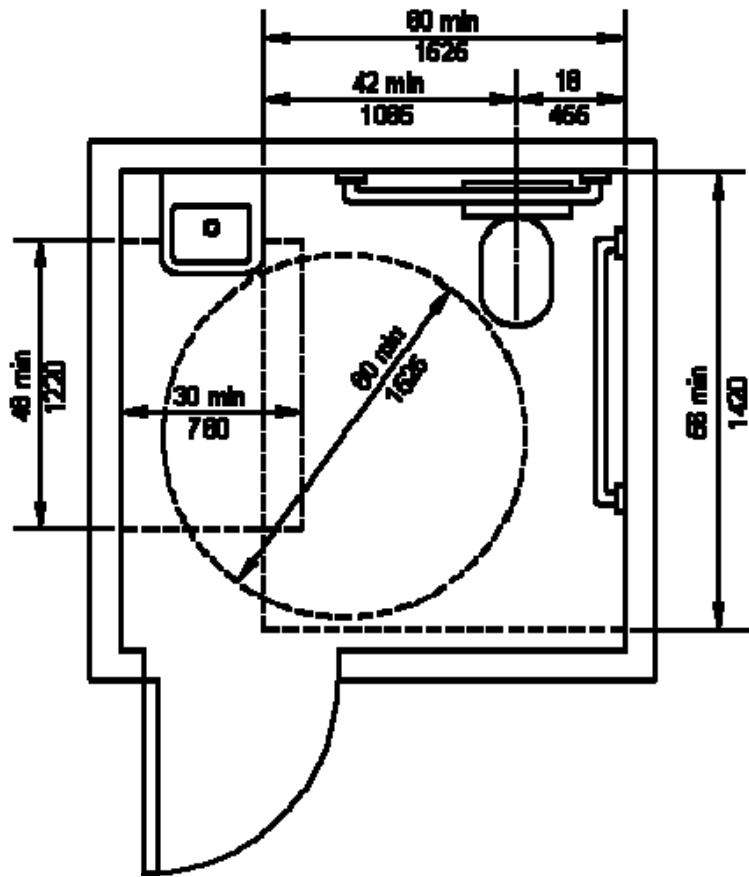
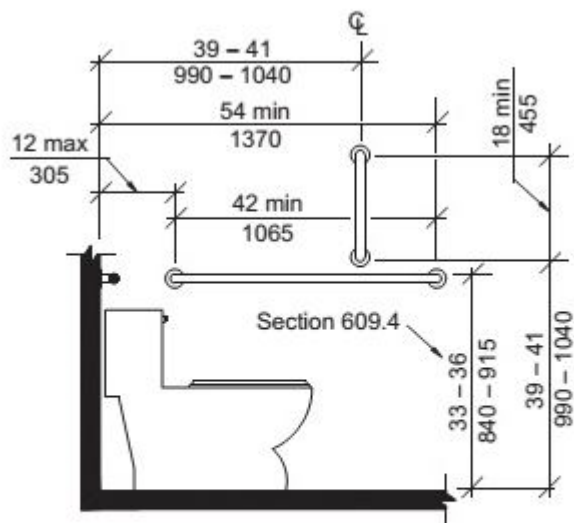
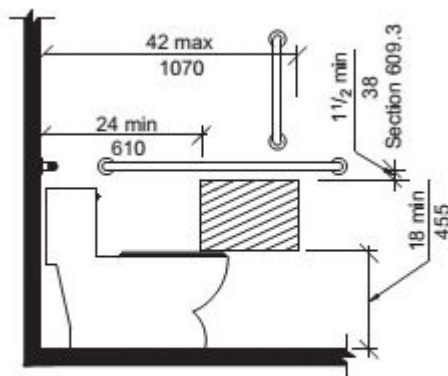


FIGURE 8: Typical Single User Toilet Room



**FIG. 604.5.1
SIDE WALL GRAB BAR FOR WATER CLOSET**

FIGURE 8: Side Wall Grab Bar for Water Closet



(a) Protruding Dispenser Below Grab Bar

FIGURE 9: Dispenser Outlet Location – Protruding Dispenser Below Grab Bar

CODE TIPS

- *A door may swing into the wheelchair turning space. Doors MAY NOT encroach into the fixture clear floor space.*
- *Fixtures may not encroach into the clear floor space of fixtures. However, fixture clear floor spaces and the wheelchair turning space may overlap*

ALTERATIONS TO EXISTING CONSTRUCTION

Alterations and new components to a space or area in an existing building shall be fully accessible. The accessible route to the altered area must be upgraded unless such alterations are disproportionate to the overall alteration in terms of cost and scope. The Department of Justice (DOJ) has defined "disproportionality" in the DOJ rules (section 36.403) as costing more than 20% of the cost of the alterations, this includes mechanical, electrical, and plumbing changes necessary to facilitate the alteration and does not include ancillary work that is not required to facilitate the alteration, such as roof repair or cosmetic finishes in unaltered areas, these dollars are not required to be counted against the cost of the alteration.

FOR EXAMPLE: A new office tenant is to fill a suite at an existing office building. The alteration in the suite includes new offices, corridors, and open office area. Cost: \$100,000. Therefore an additional \$20,000 or 20% of the project cost must be spent to upgrade the accessible route.

**COMMON IMPROVEMENTS TO
UPGRADE THE ACCESSIBLE ROUTE**

- Accessible entrance
- Wheelchair accessible toilets
- Accessible lavatories
- Accessible drinking fountains
- Door clearances
- Levered door hardware
- Signage
- Accessible elevators

CHANGE OF USE OR OCCUPANCY

When a space undergoes alterations a change of use or change of occupancy, it must be upgraded to meet the requirements of new construction, unless technically unfeasible. In addition, the existing building must also be upgraded to meet the **all** of the items listed below:

1. At least on accessible entrance
2. At least one accessible route from an accessible entrance to the primary function areas (this includes elevators)
3. Signage
4. Accessible parking
5. At least one accessible passenger loading zone (when one is provided)
6. At least one accessible route connecting parking, loading zone, and entrance.

For more information, please refer to ADAAG Section 4.1.6(2) and Section 1101 of the 2015 *International Building Code*.

TECHNICALLY INFEASIBLE: Means, with respect to an alteration of a building or a facility, that it has little likelihood of being accomplished because existing structural conditions would require removing or altering a load-bearing member which is an essential part of the structural frame; or because other existing physical or site constraints prohibit modification or addition of elements, spaces, or features which are in full and strict compliance with the minimum requirements for new construction and which are necessary to provide accessibility.